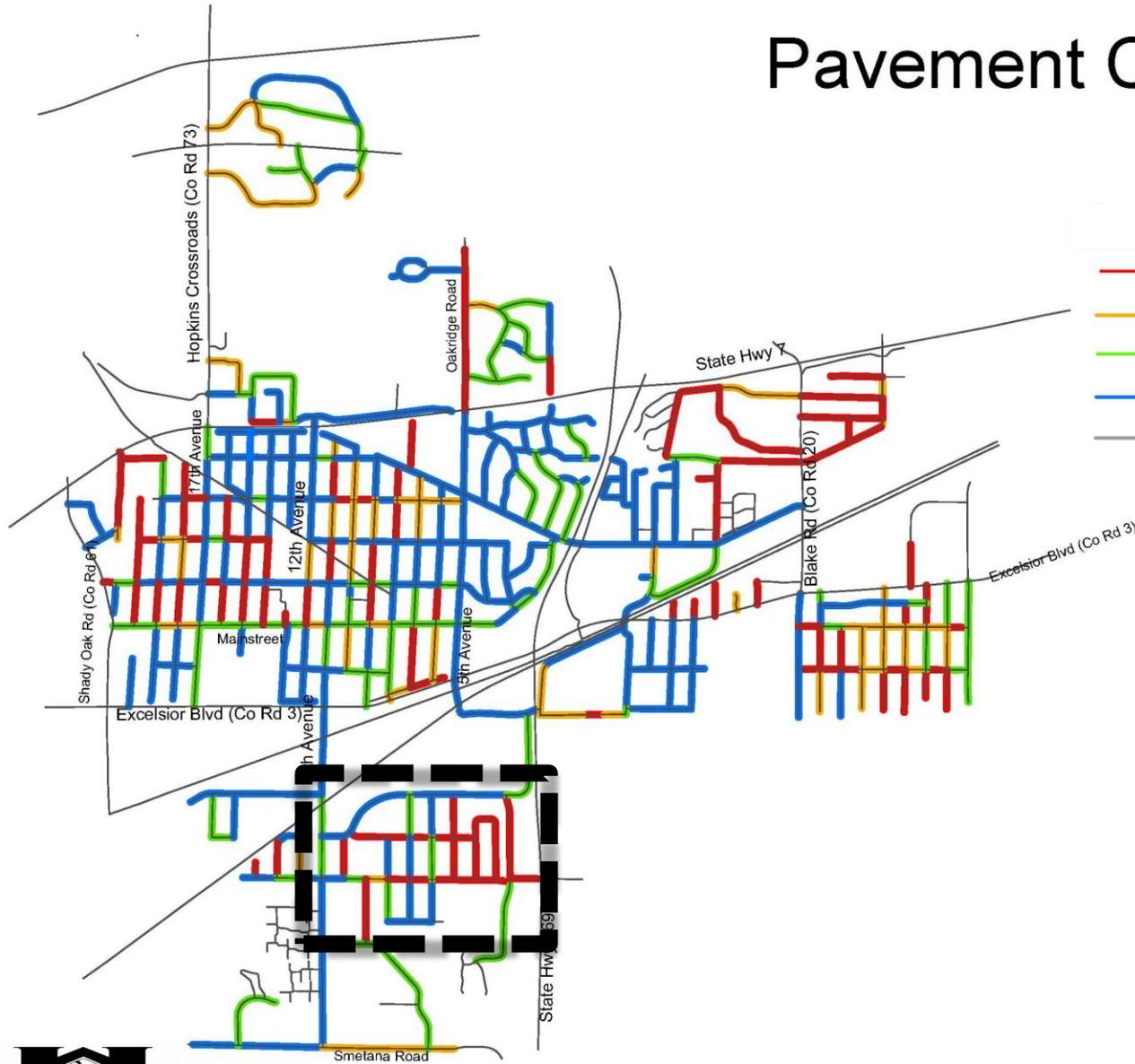


# City of Hopkins 2017 Street & Utility Improvements Project

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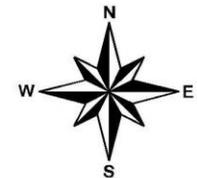
Neighborhood Meeting 1 Presentation  
September 6, 2016  
September 15, 2016

# Pavement Condition Map



PCI as of 5-7-2015

- Poor (1 - 41)
- Fair (42 - 54)
- Avg. (55 - 70)
- Good (71 - 100)
- State, County, Private & Unrated Roads



Based on ICON data of 5-7-2015 RVH





# Project Development Process

Pavement Management Ratings & Utility Conditions

Capital Improvements Plan (CIP)

**Preliminary Design / Feasibility Stage**

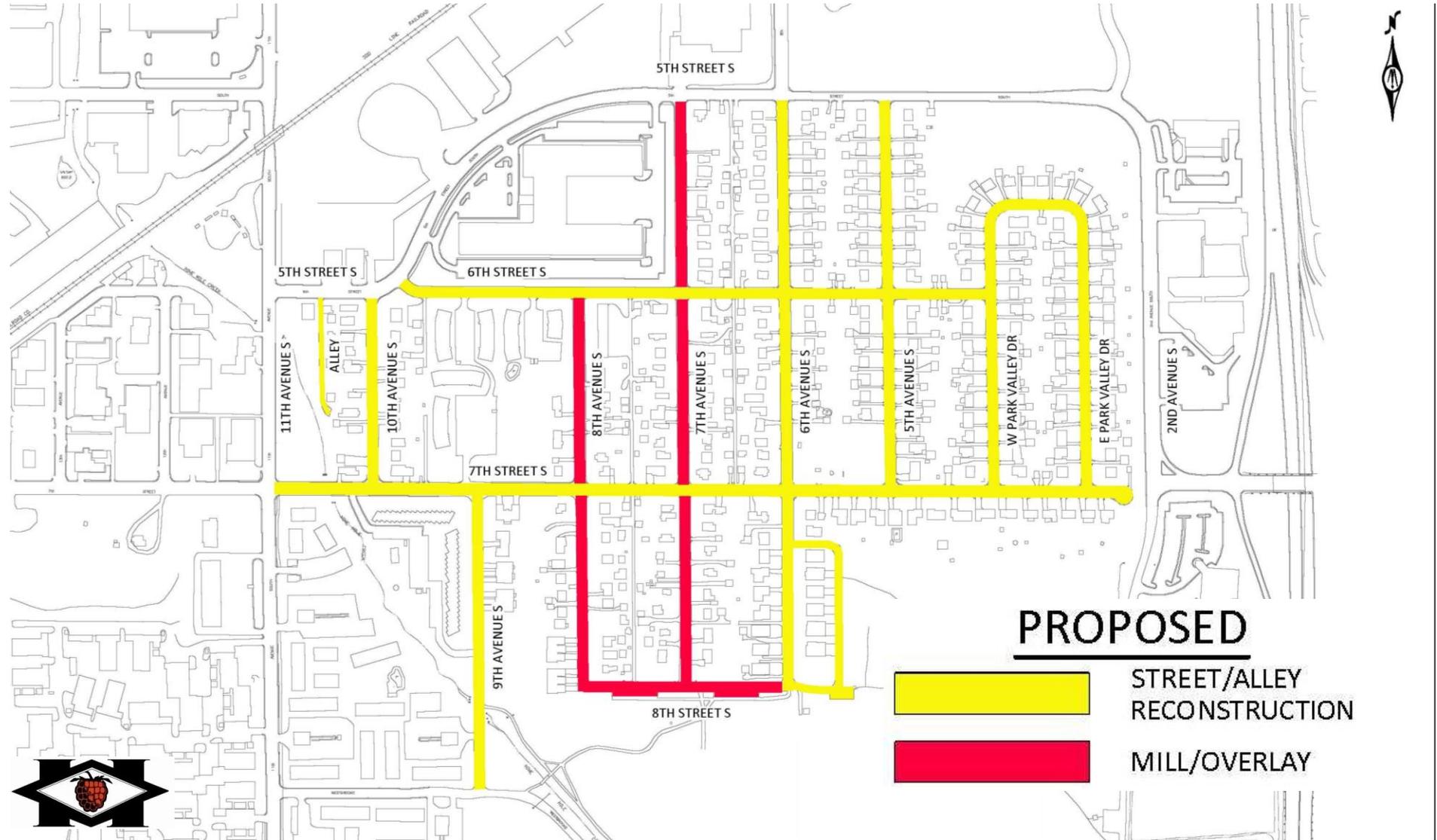
Final Design

Construction





# 2017 Project Location Map



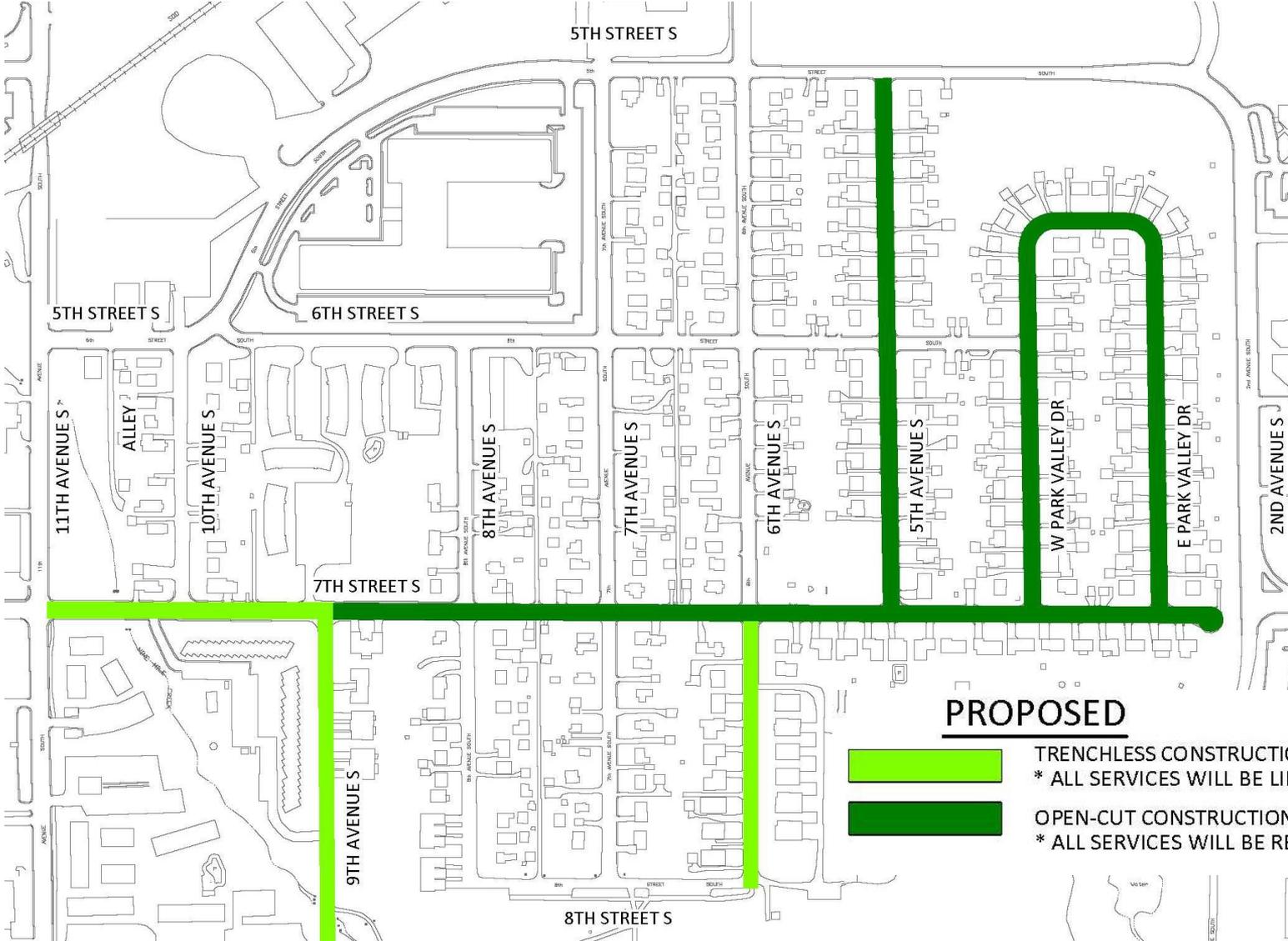


# Determining the Scope of Improvements

- Utility & Drainage Needs
- Pavement Conditions & Geotechnical Evaluation
- Resident Input / Questionnaires



# Sanitary Sewer



## PROPOSED

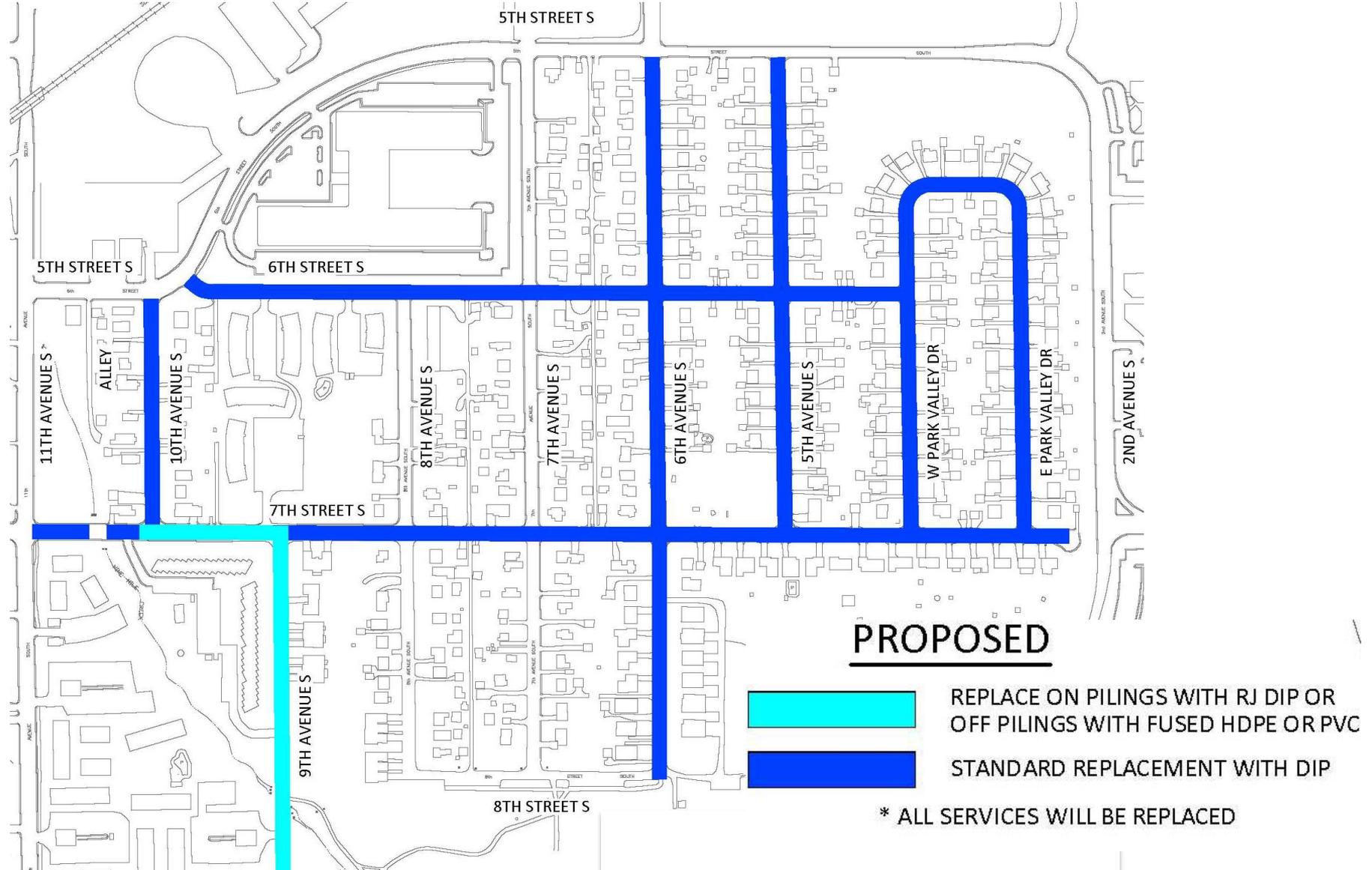


TRENCHLESS CONSTRUCTION (LINING)  
\* ALL SERVICES WILL BE LINED IN LINING AREAS

OPEN-CUT CONSTRUCTION (REPLACEMENT)  
\* ALL SERVICES WILL BE REPLACED IN OPEN-CUT AREAS



# Water System





# Storm Sewer





# Service Line Replacement

- Water & sewer services to be replaced from City's main (in the street) to the right-of-way property line, about 10'-15' from the curb/gutter





## Service Line Replacement

- Behind the property line, sewer and water service lines will be reviewed by the City
- **If made of orangeburg (sewer service) or lead (water service), MN plumbing code requires replacement**
- The City has developed a program to help property owners with replacement



# Private Service Line Replacement

## 1. Identify whether replacement is required

- Observe service pipe material
- Is the sewer pipe made of Orangeburg?
- Is the water pipe made of lead?
- If “yes” to either, then replacement is required



# Private Service Line Replacement

1. Identify whether replacement is required
2. **City's construction observer informs property owner of required replacement**
  - Cover letter with information
  - Option to have City complete the replacement:  
Agreement Form
  - Property owners are not required to have the City's contractor complete this work
  - If replacement is required, it needs to be completed within 1 year of notification regardless of who completes the work



# Private Service Line Replacement

1. Identify whether replacement is required
2. City's construction observer informs property owner of required replacement
- 3. Homeowner provides authorization to proceed with full service replacement within 14 days**
  - Sign/return the Agreement Form to City Hall or the City's construction observer



# Private Service Line Replacement

1. Identify whether replacement is required
2. City's construction observer informs property owner of required replacement
3. Homeowner provides authorization to proceed with full service replacement within 14 days
4. **City's contractor completes service replacement**



# Private Service Line Replacement

1. Identify whether replacement is required
2. City's construction observer informs property owner of required replacement
3. Homeowner provides authorization to proceed with full service replacement within 14 days
4. City's contractor completes service replacement
5. **City's contractor restores turf, concrete walks, or driveways as necessary**
  - City will not replace landscaping, items potentially connected to the home, or other unique features



# Private Service Line Replacement



Stairs to Home - No

Landscaping - No

Concrete Walk - Yes

Sod/Topsoil - Yes



# Existing Pavement Conditions





# Proposed Street Widths

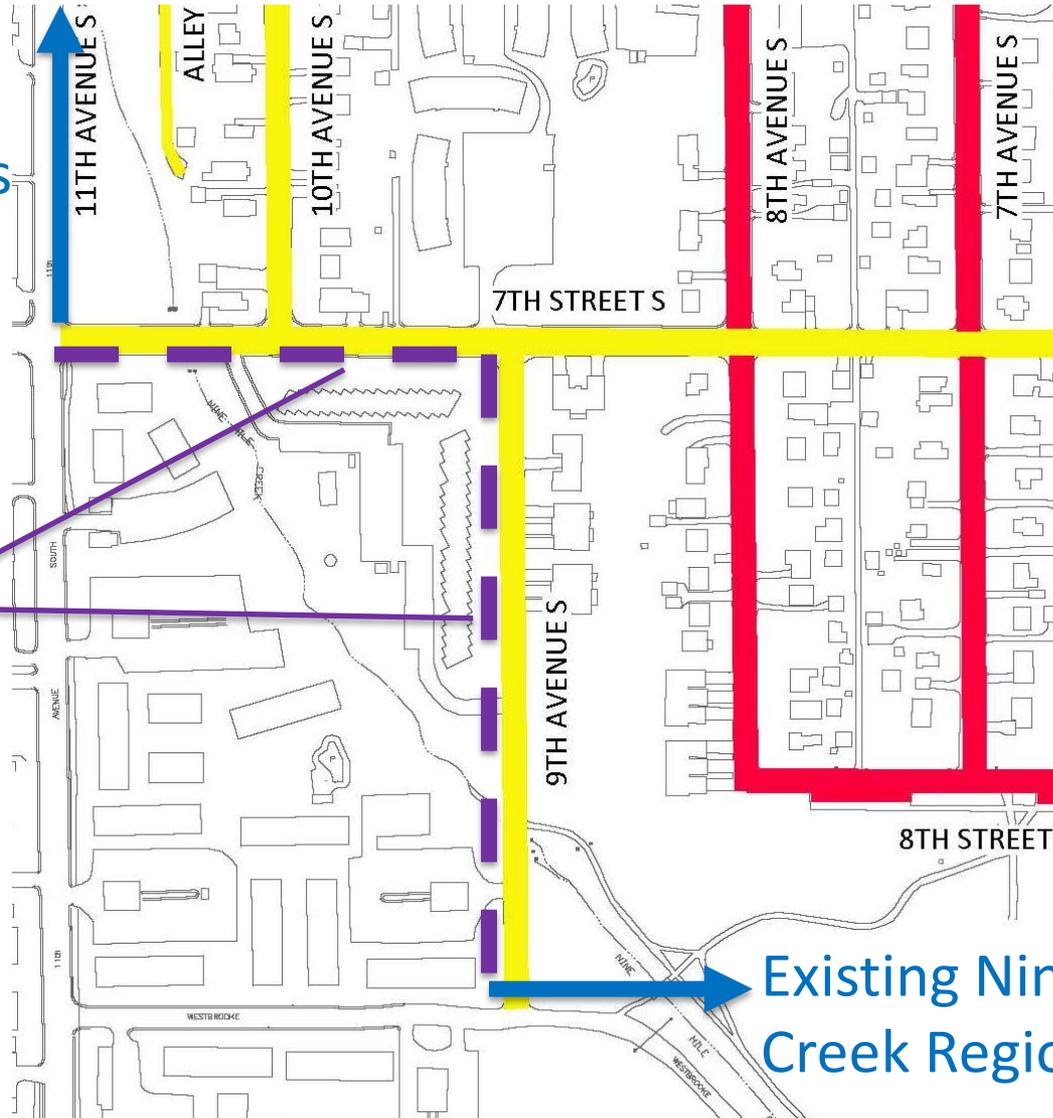
	Existing Width (F-F)	Proposed Width (F-F)
<b>6th Street S</b>	32.5 feet	32 feet
<b>7th Street S</b>	36-44 feet	36 feet
<b>West Park Valley Dr</b>	31 feet	31 feet
<b>East Park Valley Dr</b>	31 feet	31 feet
<b>5th Avenue S</b>	32.5 feet	32 feet
<b>6th Avenue S</b>	35 feet	32 feet
<b>9th Avenue S</b>	31-36 ft feet	32 feet
<b>10th Avenue S</b>	30 feet	28 feet



# 7<sup>th</sup> St S & 9<sup>th</sup> Ave S: Trail Improvements

Existing Trail to  
MN River Bluffs  
Regional Trail

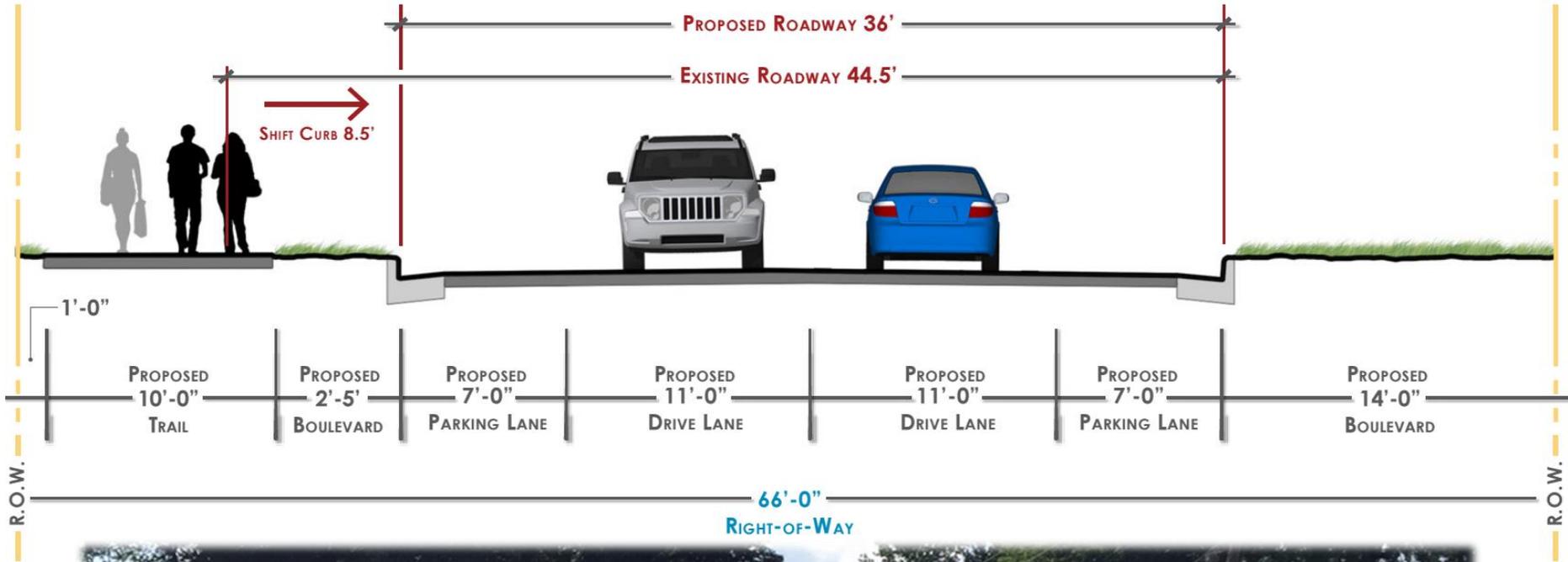
Proposed 10'  
Trail Connection  
w/Three Rivers  
Park District



Existing Nine Mile  
Creek Regional Trail

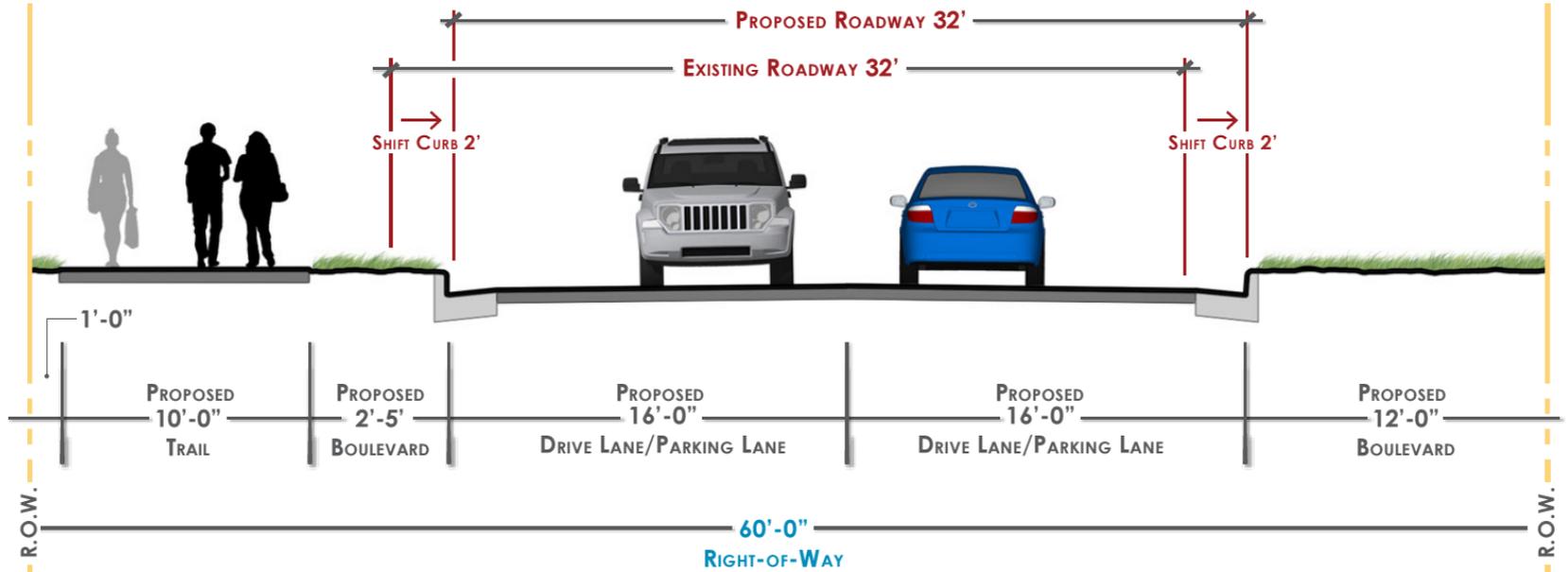


# Trail on 7<sup>th</sup> St S: Looking West



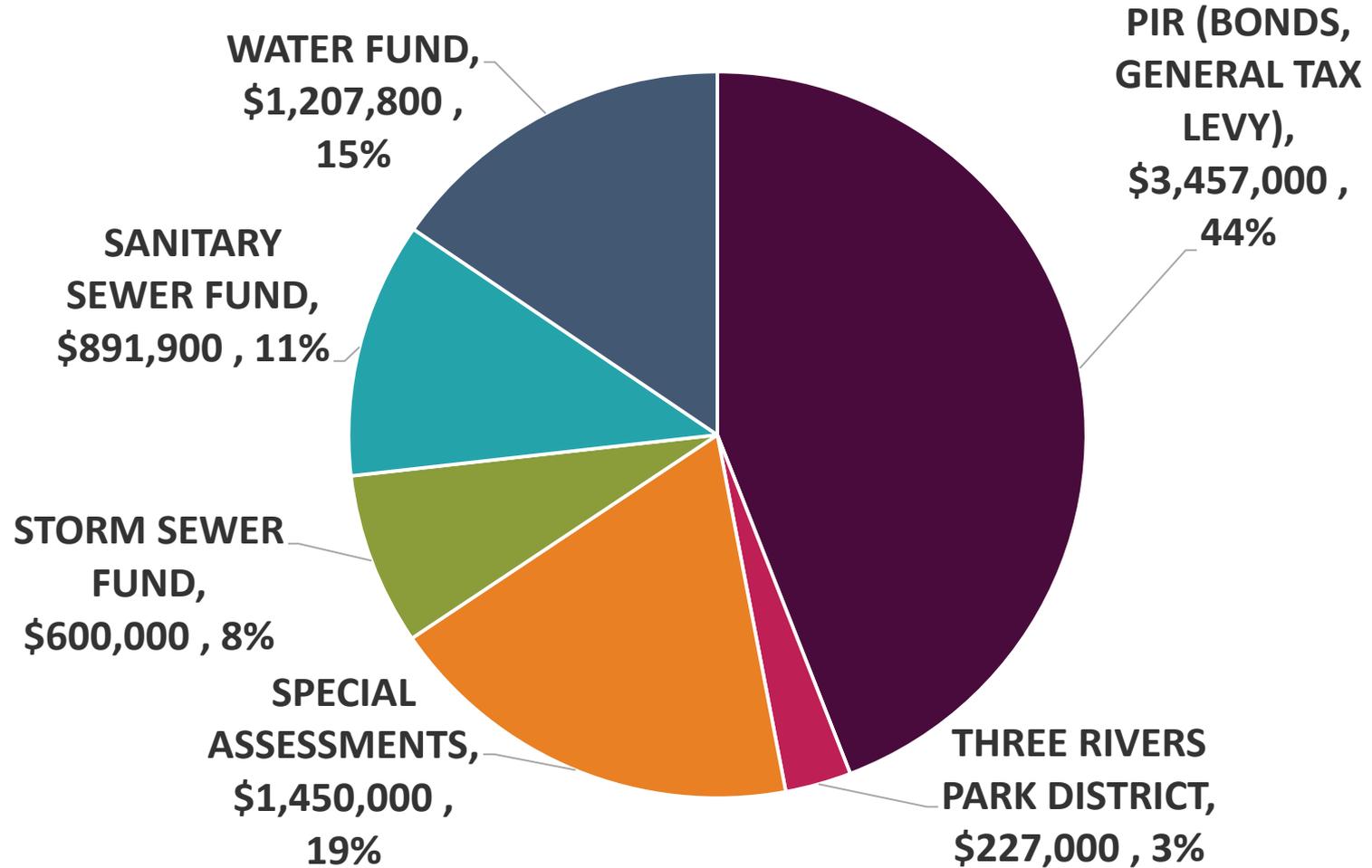


# Trail on 9<sup>th</sup> Ave S: Looking North





# Project Budget and Costs



**Total Est. Project Cost: \$7,834,000**



# Amounts to be Assessed

- Streets & Avenues (Street Assessment)
  - 70% of the total street improvement cost
  - Front foot rate subject to cap
- Alleys (Street Assessment)
  - 80% of the total alley improvement cost
- Utility Mains & Trails
  - No assessments
- Utility Services (Utility Assessment)
  - 50% of as-bid, actual service costs
  - Public right-of-way portion, not “private” portion



# Distribution of Assessment Amounts

- Avenues
  - Per FRONT FOOT of properties along the Avenue
- Streets
  - Per UNIT located within one block north or south of the street
- Alleys
  - Per UNIT served by the alley



# Assessment Caps

- 2017 Front Foot Rate Cap
  - **\$86.30 / front foot** along Avenues
  - UNIT assessments will not apply above and beyond front footage rate cap
- Front Footage Cap
  - Front footage counted up to **125 feet**



# Summary of Assessments & Amounts

- **593 total properties to be assessed**
  - 321 are condominiums or townhouses
- **Assessments Range from \$105.21 to \$13,331.00**
  - Avenue Reconstruction? Front footage at \$86.30/FT
  - Side Street Reconstruction? Unit assessment
  - Utility Service Reconstruction? 50% of cost
- **135 “typical” residential, single family lot w/full recon:**
  - \$5,400 to \$6,800 (including utility assessments)
  - 10<sup>th</sup> Ave, 5<sup>th</sup> Ave, E Park Valley, W Park Valley

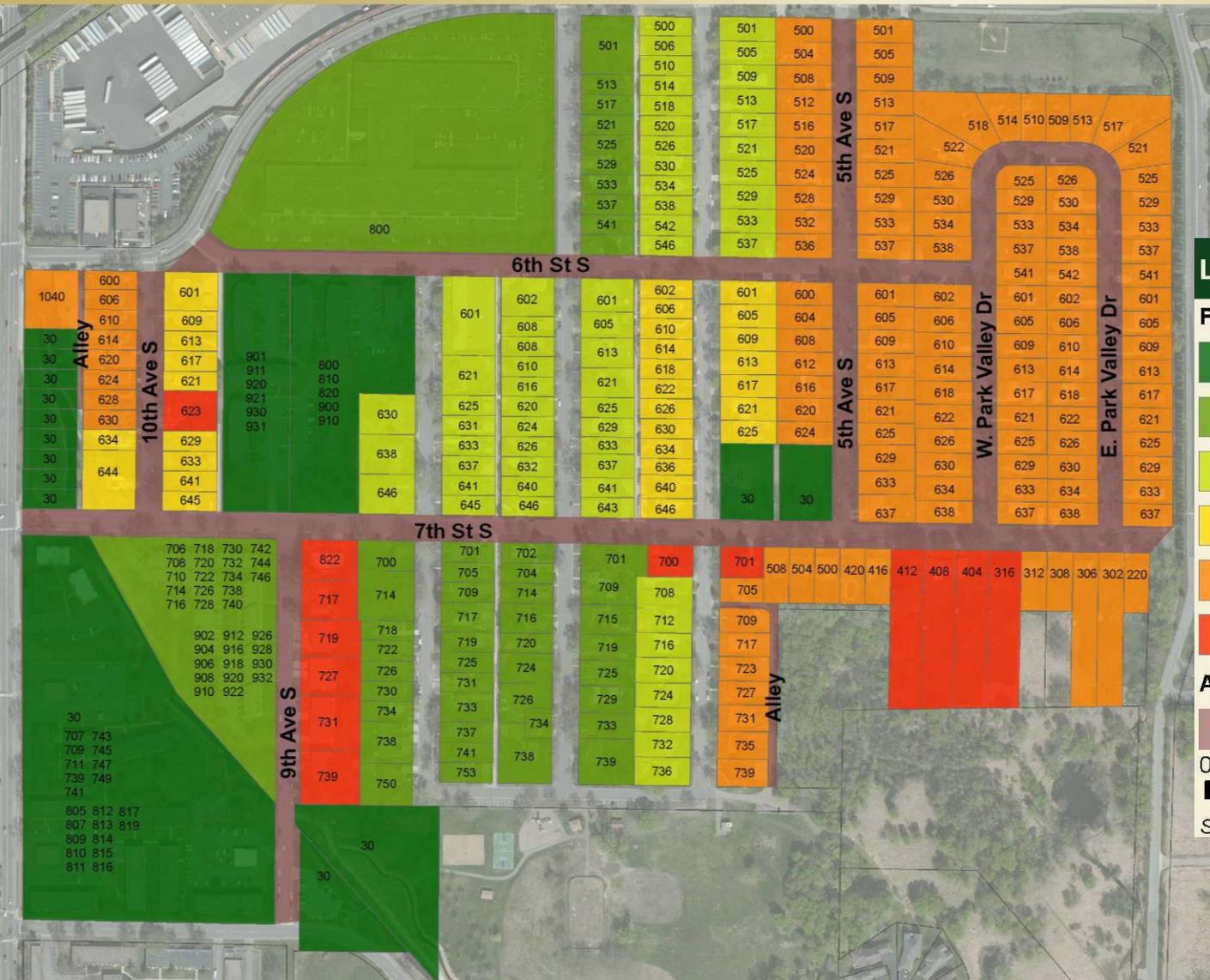


# Proposed Improvements Without Assessments

- 6<sup>th</sup> Ave S
  - Reconstruction proposed due to watermain reconstruction, not street improvements
- 7<sup>th</sup> Ave S
  - Mill/overlay not assessed per City Policy
- 8<sup>th</sup> Ave S
  - Mill/overlay not assessed per City Policy
- Public improvements above and beyond the “cap”
  - Example: alleys and streets not assessed to properties already at the assessment cap



# Map with Assessment Amounts



**Legend**

**Proposed Assessment**

- \$0 - \$200
- \$200 - \$1,500
- \$1,500 - \$3,000
- \$3,000 - \$5,000
- \$5,000 - \$8,000
- \$8,000 +

**Assessed Improvements**

- Street/Utility Reconstruction

0 150 Feet

Source: Hennepin Co, ESRI, City of Hopkins



# Paying Assessments

- Payment Options
  1. Pre pay without interest February 21 – March 22, 2017 (tentative)
  2. Pre pay with interest accrued until November 28
  3. Remaining balance put on tax roll after November 28, Paid over 15 Years
  4. Deferred Assessments



# Deferred Assessments

## **A. To qualify:**

- Homestead property
- Household income limit: \$37,364 (2016, to be updated)
- Owner must be one of the following:
  - At least 65 years old,
  - Active military service, or
  - Retired by virtue of a permanent & total disability

## **B. Process – Robin Robertson, 952-548-6310**

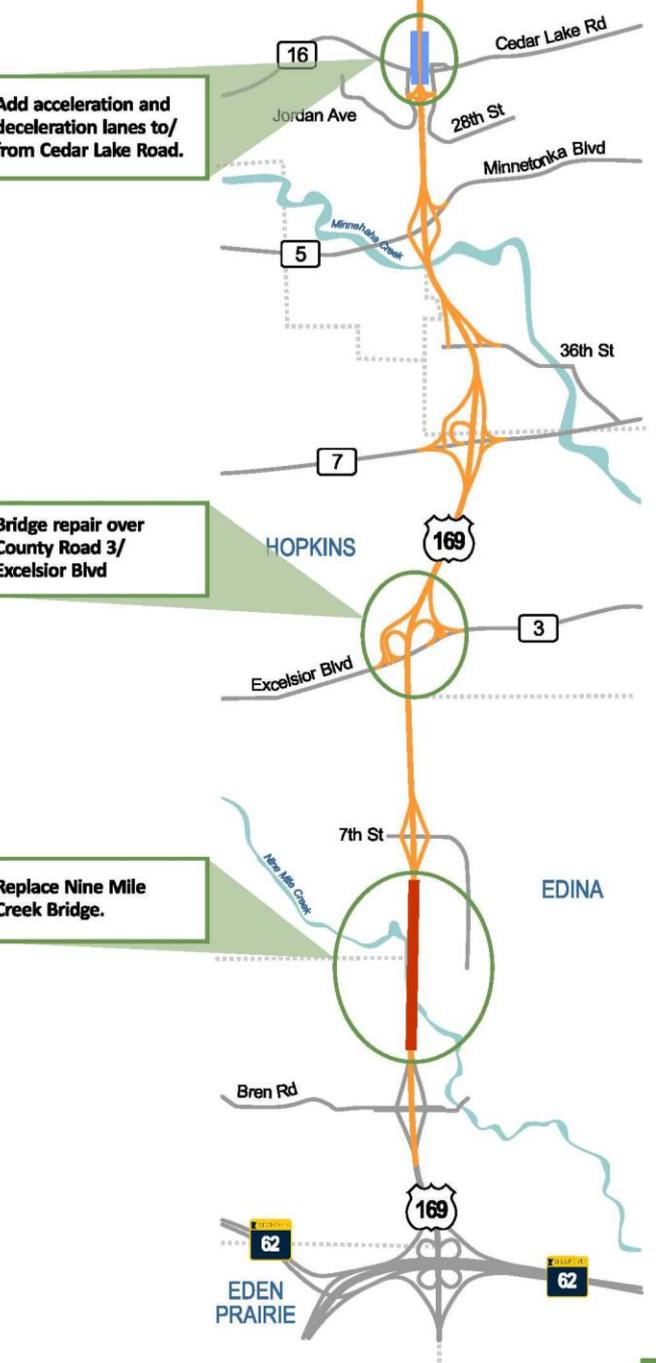
- Renew annually with City, must meet criteria at time of renewal each year



# Project Schedule

- **Neighborhood Meeting 1:** **September 6, 2016**
  - **2<sup>nd</sup> Option (N’hood Meeting 1):** **September 15, 2016**
- Public Hearing / Order Final Plans: September 20, 2016
- Approve Final Plans / Order Bids: December 20, 2016
- Order Assessment Hearing: January, 2017
  
- **Neighborhood Meeting 2:** **February, 2017**
- Conduct Assessment Hearing / Adopt Assessment Roll / Award Contract: February, 2017
  
- **Neighborhood Meeting 3:** **April, 2017**
- Construction: April – October, 2017

# Hwy 169 Construction



Add acceleration and deceleration lanes to/from Cedar Lake Road.

Bridge repair over County Road 3/Excelsior Blvd

Replace Nine Mile Creek Bridge.

Resurface, signal, drainage, guardrail, concrete median barrier, repair retaining wall, noise wall repair, ADA upgrades; and bridge repair over County Road 3/Excelsior Blvd.

[www.dot.state.mn.us/metro/projects/hwy169hopkins/](http://www.dot.state.mn.us/metro/projects/hwy169hopkins/)



-  Road resurfacing
-  Nine Mile Creek bridge replacement
-  Acceleration/deceleration lanes
-  16th St access modification



# Hwy 169 Construction by MnDOT

## US 169 Highway 169 Improvement Project: FACT SHEET #2

### WHAT IS THE PROJECT STATUS?

The **Highway 169** project between **Highway 55** and **Highway 62** has reached significant milestones since this summer and the last open house in August. In addition to meetings with stakeholders along the corridor, project staff have been working on an environmental review and preliminary design of the projects. The following updates on the projects include:

- The bridge over Nine Mile Creek will be reconstructed as a causeway, which is a raised road across a low or wet ground
- The St. Louis Park city council voted in support of closing the sub-standard ramps at West 16<sup>th</sup> Street on southbound Highway 169
- Official detour routes have been determined and preliminary plans for construction staging is now available (see back side of this page for map)

### WHAT ARE THE OFFICIAL DETOURS/ALTERNATE ROUTES?

**Detours for the Highway 169 bridge closure over Nine Mile Creek:** The bridge will be closed for up to one year between Bren Road and 7<sup>th</sup> Street (5<sup>th</sup> Street–Lincoln Drive). Access will remain off Bren Road and 7<sup>th</sup> Street ramps (5<sup>th</sup> Street–Lincoln Drive) for local businesses/residents. Detours will be:

**Northbound:** Highway 62 East to Highway 100 North to I-394 West

**Southbound:** I-394 West to I-494 South to Highway 169

**Alternate routes for the 16<sup>th</sup> Street ramp closure off southbound Highway 169:** The project involves permanently closing the southbound Highway 169 ramps at 16<sup>th</sup> Street. Highway access to the residential neighborhoods served by 16<sup>th</sup> Street is provided by the following alternate routes:



#### From I-394:

- Hopkins Crossroad Interchange, Wayzata Boulevard (South Frontage Road), Ford Road

#### From Highway 169:

- Cedar Lake Road (interchange), Ford Road
- Betty Crocker Drive, Shelard Parkway, Wayzata Boulevard (South Frontage Road), Ford Road

### CONSTRUCTION STAGING

- The construction work for the bridge replacement project will be limited to November 2016 through November 2017 and requires a full road closure between Bren Road and 7<sup>th</sup> Street (5<sup>th</sup> Street–Lincoln Drive)
- Lengthening the lanes at the Cedar Lake Road interchange and closing the 16<sup>th</sup> Street ramps to and from southbound Highway 169 will occur during summer 2017 (closures will occur consecutively)

The road resurfacing work will require temporary lane closures on portions of Highway 169 between Highway 55 and Highway 62. This work also includes non-concurrent ramp closures at 7<sup>th</sup> Street, Excelsior Boulevard, Highway 7, West 36<sup>th</sup> Street, and the southbound off ramp towards Minnetonka Boulevard

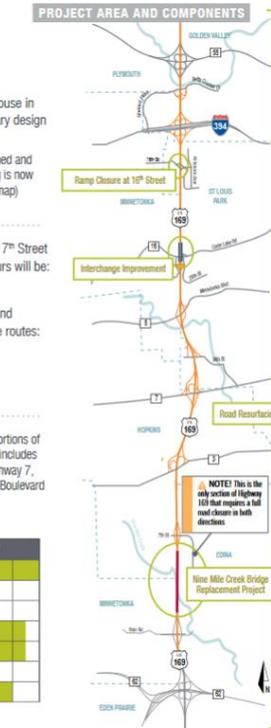
### PROJECT SCHEDULE:

	2015	2016	2017
Public involvement activities			
Preliminary design and environmental review			
Final design			
Bridge closure – From Bren Road to 7 <sup>th</sup> Street (5 <sup>th</sup> Street–Lincoln Drive)			
Lane restrictions and ramp closures – Periodically from Highway 55 to Highway 62			
Cedar Lake Road ramp closure			
16 <sup>th</sup> Street ramp closure			

### MORE INFORMATION?

<http://www.mndot.gov/metro/projects/hwy169hopkins>

If you have questions or would like a project representative to visit your business or organization contact:  
 Nick Carpenter, Metro District Public Affairs Coordinator, at (651) 234-7710 or [nick.carpenter@state.mn.us](mailto:nick.carpenter@state.mn.us)  
 or Andrew Lutajka, PE, Project Manager, at (651) 234-7563 or [andrew.lutajka@state.mn.us](mailto:andrew.lutajka@state.mn.us)



## US 169 Highway 169 Improvement Project: FACT SHEET #2

### PROJECTS

**16<sup>th</sup> Street Ramp Closure**  
 Remove southbound freeway ramps at 16<sup>th</sup> St.  
**Includes:** visual barrier

**Interchange Improvement**  
 Lengthen acceleration and deceleration lanes to/from Cedar Lake Road

**Bridge Replacement Project**  
 Replace Nine Mile Creek Bridge between Bren Rd and 7<sup>th</sup> Street (5<sup>th</sup> Street–Lincoln Drive)

### CONSTRUCTION STAGING

**Road Resurfacing**  
 Bituminous mill and overlay work from Highway 55 to Minnetonka Boulevard includes:  
 • Four separate weekend directional closures for road resurfacing (two northbound, two southbound)  
 • Possibly a single lane of traffic in each direction (northbound and southbound) to perform the work

Includes: repair median barrier, noise wall and pedestrian crossing upgrades

**Road Resurfacing**  
 Concrete pavement repair from Minnetonka Boulevard to Highway 62 requires:  
 • Possibly a single lane of traffic in each direction (northbound and southbound) to perform the work



### MORE INFORMATION?

<http://www.mndot.gov/metro/projects/hwy169hopkins>

[www.dot.state.mn.us/metro/projects/hwy169hopkins/pdf/factsheet.pdf](http://www.dot.state.mn.us/metro/projects/hwy169hopkins/pdf/factsheet.pdf)